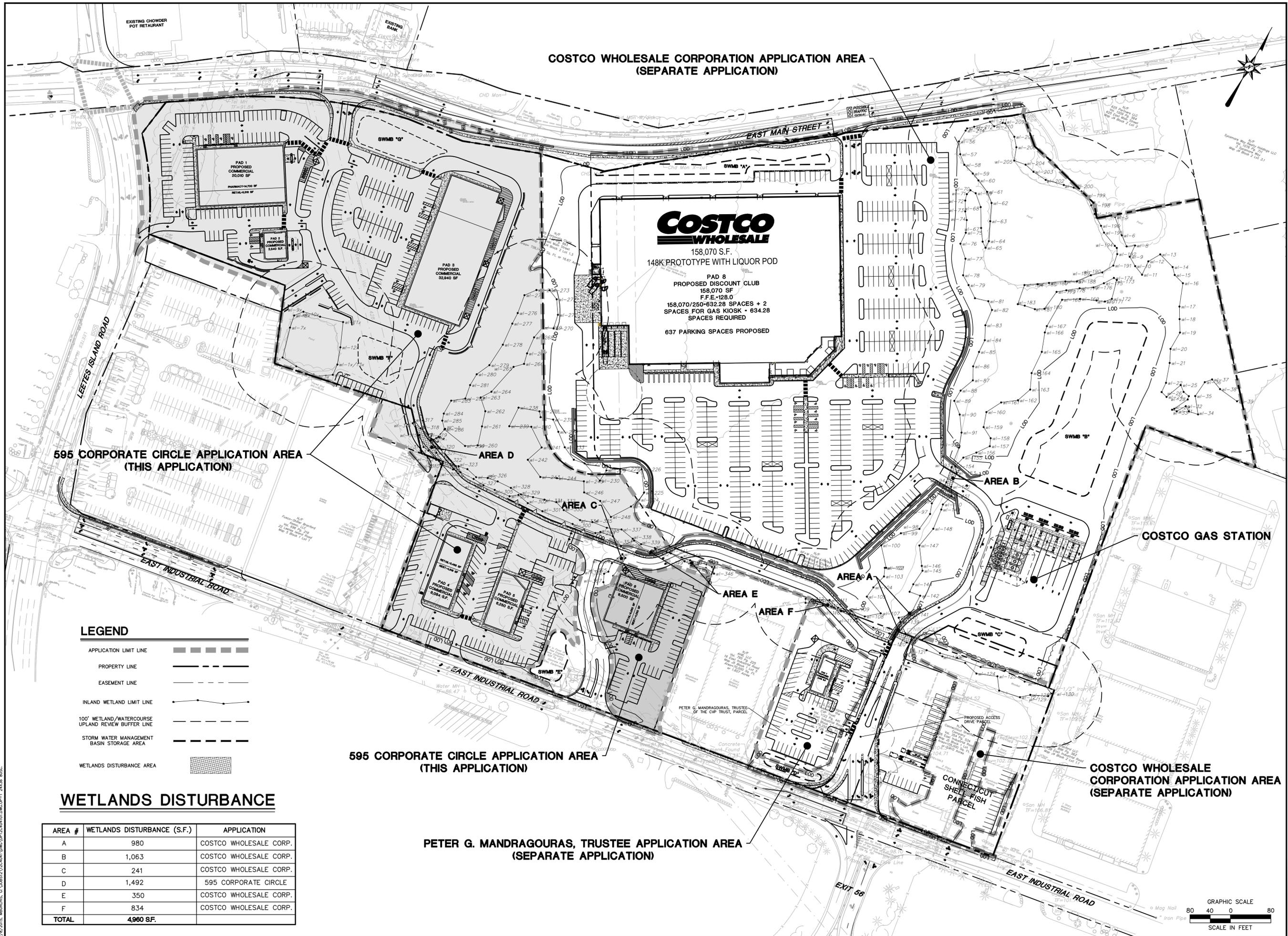


**COSTCO WHOLESALE CORPORATION APPLICATION AREA  
 (SEPARATE APPLICATION)**



**LEGEND**

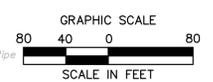
APPLICATION LIMIT LINE	— — — — —
PROPERTY LINE	— — — — —
EASEMENT LINE	- - - - -
INLAND WETLAND LIMIT LINE	— · — · — · — · —
100' WETLAND/WATERCOURSE UPLAND REVIEW BUFFER LINE	— · — · — · — · —
STORM WATER MANAGEMENT BASIN STORAGE AREA	▨
WETLANDS DISTURBANCE AREA	▨

**WETLANDS DISTURBANCE**

AREA #	WETLANDS DISTURBANCE (S.F.)	APPLICATION
A	980	COSTCO WHOLESALE CORP.
B	1,063	COSTCO WHOLESALE CORP.
C	241	COSTCO WHOLESALE CORP.
D	1,492	595 CORPORATE CIRCLE
E	350	COSTCO WHOLESALE CORP.
F	834	COSTCO WHOLESALE CORP.
<b>TOTAL</b>	<b>4,960 S.F.</b>	

**PETER G. MANDRAGOURAS, TRUSTEE APPLICATION AREA  
 (SEPARATE APPLICATION)**

**COSTCO WHOLESALE CORPORATION APPLICATION AREA  
 (SEPARATE APPLICATION)**

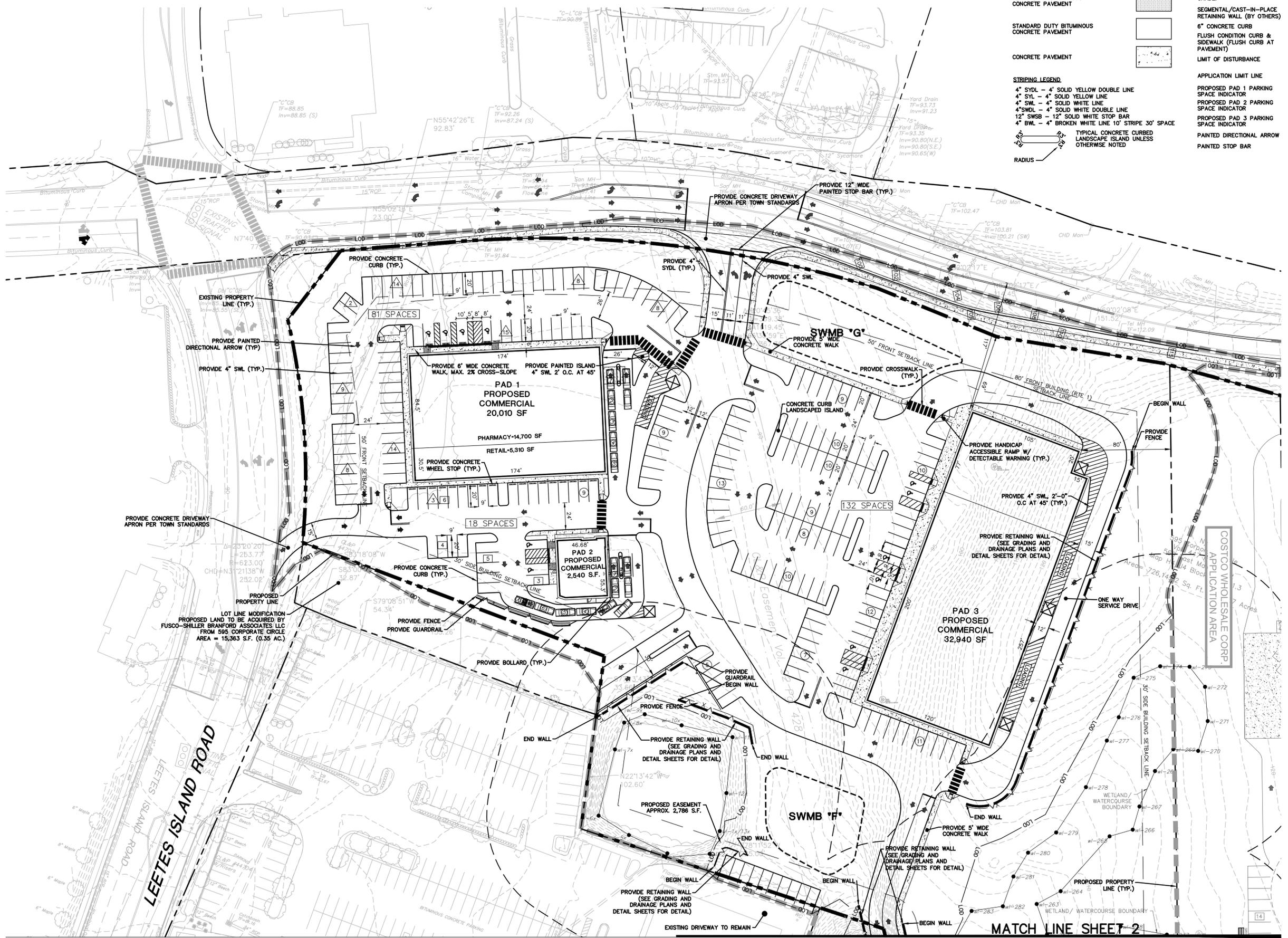


9/8/2015, 10:00:00 AM, C:\Users\jmc\OneDrive\Documents\12C4041\DWG\OP-1\_24x36\_B05C.dwg

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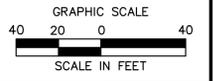
**LEGEND**

- HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT
- STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT
- CONCRETE PAVEMENT
- STRIPING LEGEND
  - 4" SYDL - 4" SOLID YELLOW DOUBLE LINE
  - 4" SWL - 4" SOLID WHITE LINE
  - 4" SWDL - 4" SOLID WHITE DOUBLE LINE
  - 12" SWSB - 12" SOLID WHITE STOP BAR
  - 4" BWL - 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE
  - TYPICAL CONCRETE CURBED LANDSCAPE ISLAND UNLESS OTHERWISE NOTED
  - RADIUS
- SAWTOOTH LINE. MATCH EXISTING GRADE.
- SEGMENTAL/CAST-IN-PLACE RETAINING WALL (BY OTHERS)
- 6" CONCRETE CURB
- FLUSH CONDITION CURB & SIDEWALK (FLUSH CURB AT PAVEMENT)
- LIMIT OF DISTURBANCE
- APPLICATION LIMIT LINE
- PROPOSED PAD 1 PARKING SPACE INDICATOR
- PROPOSED PAD 2 PARKING SPACE INDICATOR
- PROPOSED PAD 3 PARKING SPACE INDICATOR
- PAINTED DIRECTIONAL ARROW
- PAINTED STOP BAR



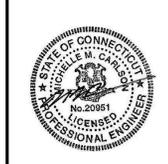
SEE SHEET GN-1 FOR  
GENERAL NOTES AND  
ZONING CHARTS

SEE SHEET SP-2 FOR  
SITE PLAN NOTES



No.	Date	Desc.
1		DESIGNED
2		DRAWN
3		CHECKED
4		APPROVED

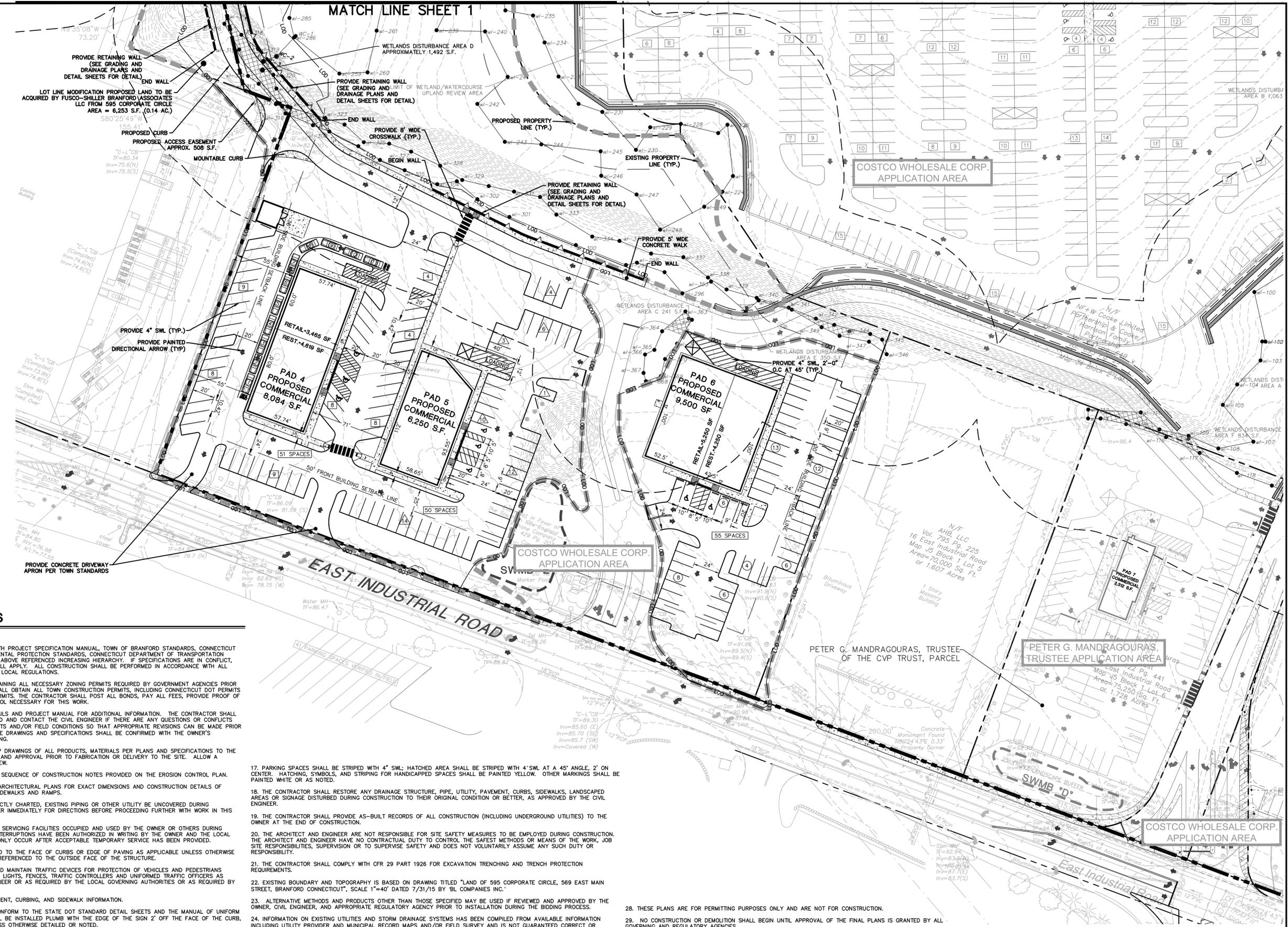
Scale: 1"=40'  
 Project No.: 12C4041  
 Date: 09/04/15  
 CAD File: SP12C404101  
 Title: **SITE PLAN**  
 Sheet No.: **SP-1**



**PROPOSED COMMERCIAL DEVELOPMENT**  
 569 EAST MAIN STREET  
 BRANFORD, CONNECTICUT

**NOT FOR CONSTRUCTION- FOR PERMITTING PURPOSES ONLY**

No.	Date	Desc.
DESIGNED		M.M.C.
DRAWN		M.A.A.
CHECKED		
APPROVED		1"=40'
PROJECT NO.		12C4011
DATE		09/04/15
CAD FILE:		SP12C404101
TITLE		SITE PLAN
SHEET NO.		SP-2

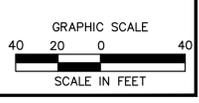


**SITE PLAN NOTES**

- SITE PLAN NOTES**
- ALL CONSTRUCTION SHALL COMPLY WITH PROJECT SPECIFICATION MANUAL, TOWN OF BRANFORD STANDARDS, CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION STANDARDS, CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
  - THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING CONNECTICUT DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
  - REFER TO PLANS BY ARCHITECT, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
  - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
  - THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN.
  - THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDINGS AND THE RAISED CONCRETE SIDEWALKS AND RAMPS.
  - SHOULD ANY UNCHARTERED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
  - DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
  - ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
  - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS.
  - REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
  - TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
  - THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
  - THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.
  - PAVEMENT MARKING KEY:  
 4" SYDL 4" SOLID YELLOW DOUBLE LINE  
 4" SYL 4" SOLID YELLOW LINE  
 4" SWL 4" SOLID WHITE LINE  
 12" SWSB 12" SOLID WHITE STOP BAR  
 4" BWL 4" BROKEN WHITE LINE 10' STRIPE 30'SPACE

- PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED YELLOW. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ARCHITECT AND ENGINEER ARE NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "LAND OF 595 CORPORATE CIRCLE, 569 EAST MAIN STREET, BRANFORD CONNECTICUT", SCALE 1"=40' DATED 7/31/15 BY BL COMPANIES INC.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "800-922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH CONNECTICUT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
- CT DOT ENCROACHMENT PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK. THE OWNER SHALL POST CONDOT ENCROACHMENT PERMIT BOND.
- AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE. THE AMOUNT OF THE EROSION CONTROL BOND TO BE DETERMINED BY THE TOWN OF BRANFORD.

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER
- NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
- THERE ARE WETLANDS LOCATED ON THE SITE AS INDICATED BY ENVIRONMENTAL PLANNING SERVICES MAPPING.
- 12" SWSB (STOP BAR) AND 4" SDYL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO CONDOT SPECIFICATIONS.
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.
- THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE STATE HIGHWAY BY METHOD APPROVED BY CONNECTICUT DOT.



REGIONS	No.	Date	Desc.

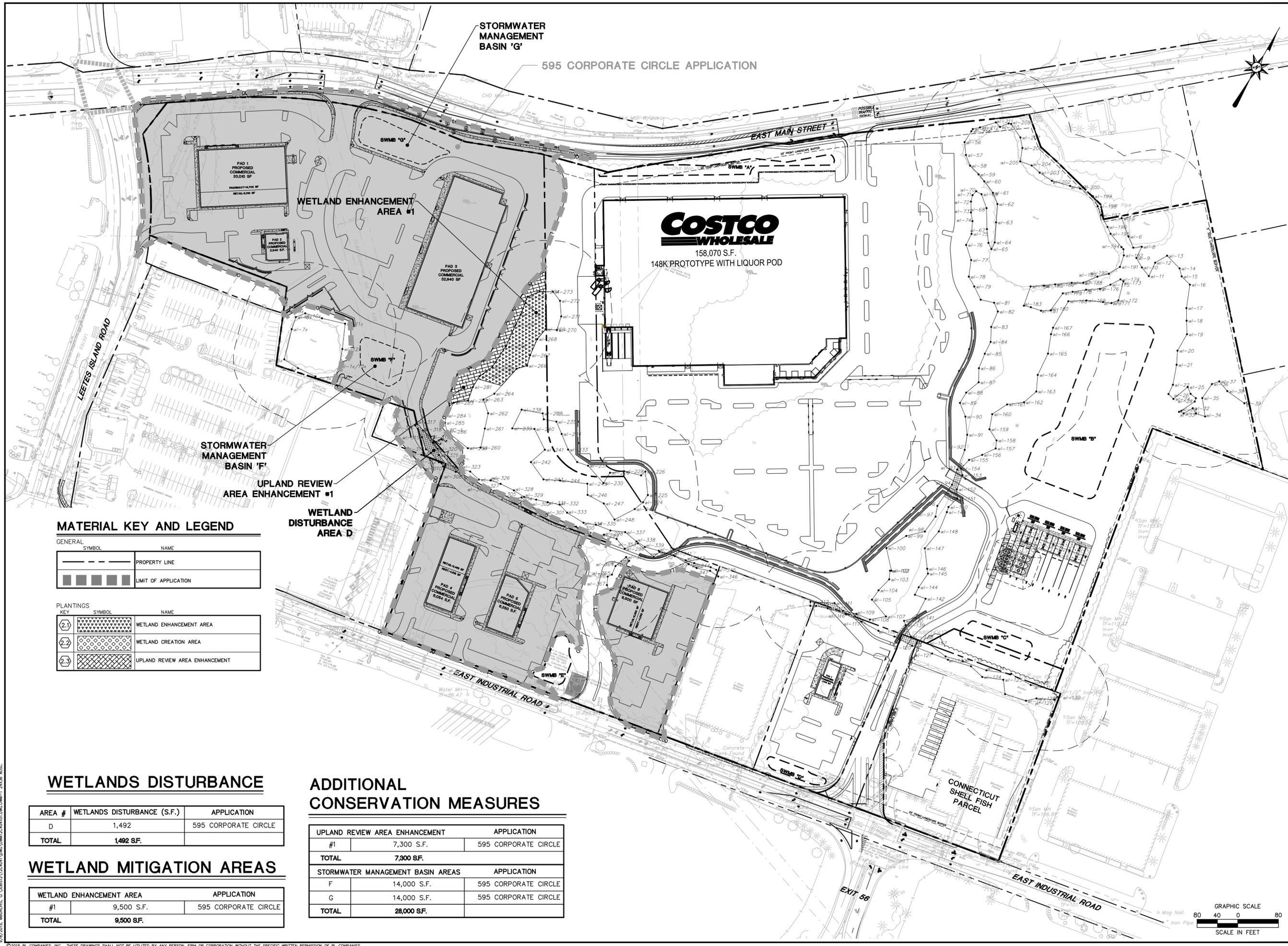
Designed	W.E.V.
Drawn	W.E.V.
Checked	
Approved	
Scale	1"=80'
Project No.	12C4041
Date	09/04/15

CAD File: OWM12C404101

Title  
**OVERALL WETLAND MITIGATION PLAN**

Sheet No.

**OWM-1**



**MATERIAL KEY AND LEGEND**

GENERAL	
SYMBOL	NAME
---	PROPERTY LINE
█	LIMIT OF APPLICATION

PLANTINGS	
KEY	NAME
(2.1)	WETLAND ENHANCEMENT AREA
(2.2)	WETLAND CREATION AREA
(2.3)	UPLAND REVIEW AREA ENHANCEMENT

**WETLANDS DISTURBANCE**

AREA #	WETLANDS DISTURBANCE (S.F.)	APPLICATION
D	1,492	595 CORPORATE CIRCLE
<b>TOTAL</b>	<b>1,492 S.F.</b>	

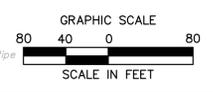
**WETLAND MITIGATION AREAS**

WETLAND ENHANCEMENT AREA	APPLICATION
#1	9,500 S.F. 595 CORPORATE CIRCLE
<b>TOTAL</b>	<b>9,500 S.F.</b>

**ADDITIONAL CONSERVATION MEASURES**

UPLAND REVIEW AREA ENHANCEMENT		APPLICATION
#1	7,300 S.F.	595 CORPORATE CIRCLE
<b>TOTAL</b>	<b>7,300 S.F.</b>	
STORMWATER MANAGEMENT BASIN AREAS		APPLICATION
F	14,000 S.F.	595 CORPORATE CIRCLE
G	14,000 S.F.	595 CORPORATE CIRCLE
<b>TOTAL</b>	<b>28,000 S.F.</b>	

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**WETLAND MITIGATION PLANT SCHEDULE**

	Scientific Name	Common Name	Quantity		Size	Root
			WE 1	URAE 1		
<b>Trees</b>						
AR	Acer rubrum	Red Maple	12	5	6'	Cont
AL	Amelanchier laevis	Smooth Shadbush			6'	Cont
BP	Betula populifolia	Gray Birch		3	6'	Cont
CE	Celtis occidentalis	Common Hackberry		3	6'	Cont
COA	Cornus alternifolia	Alternate-leaf Dogwood			6'	Cont
CF	Cornus florida	Flowering Dogwood		3	6'	Cont
JV	Juniperus virginiana	Red Cedar			6'	Cont
NS	Nyssa sylvatica	Black Gum	18	6	6'	Cont
Pv	Prunus virginiana	Chokecherry		6	4-6'	Cont
QB	Quercus bicolor	Swamp White Oak	18	6	6'	Cont
RT	Rhus typhina	Staghorn Sumac		3		Cont
SN	Salix nigra	Black Willow	18		4-6'	Cont
SA	Sorbus americana	Mountain Ash	6	3	6'	Cont
TA	Tilia americana	Basswood			6'	Cont
<b>Shrubs</b>						
Al	Alnus incana	Speckled Alder	36		3-4'	Cont
Ac	Amelanchier canadensis	Shadblow	18	6	3-4'	Cont
CA	Cephalanthus occidentalis	Buttonbush	36		3-4'	Cont
CL	Clethra alnifolia	Sweet Pepperbush	12		3-4'	Cont
CA	Cornus amomum	Silky Dogwood	36		3-4'	Cont
CR	Cornus racemosa	Gray Dogwood		12	3-4'	Cont
HV	Hamamelis virginiana	Witchhazel		9	3-4'	Cont
Iv	Ilex verticillata	Winterberry	12		3-4'	Cont
SC	Sambucus canadensis	Common Elderberry	6		3-4'	Cont
SD	Salix discolor	Pussy Willow	18		3-4'	Cont
Vc	Vaccinium corymbosum	Highbush Blueberry	12		3-4'	Cont
VD	Viburnum dentatum	Arrowwood	18	6	3-4'	Cont
VL	Viburnum lentago	Nannyberry	18		3-4'	Cont
<b>Herbs</b>						
	Aster novae-angliae	New England Aster		50		2" plugs
	Eupatorium maculatum	Spotted Joe-pye Weed		50		
	Monarda fistulosa	Wild Bergamot		50		
<b>Seed Mixes</b>						
	New England Wetmix	Application Rate: 1 LB/2500 sq. ft.				
	New England Erosion Control/Restoration Mix for Moist Sites					
		Application Rate: 1 LB/1250 sq. ft.				
	New England Conservation/Wildlife Mix (basin & swale slopes and disturbed upland soils)					
		Application Rate: 1 LB/1743 sq. ft.				
		Seed mixes are available from New England Wetland Plants, Inc (newp.com)				
WC=Wetland Creation						
WE=Wetland Enhancement						
URAE=Upland Review Area Enhancement						

**WETLAND MITIGATION PLANT NOTES**

- Invasive non-native species shall be eradicated or removed from designated wetlands and upland review areas after being identified and tagged by EPS staff.
- Any herbicide used for invasive eradication or control shall be approved by project wetland scientist and applied by a licensed professional.
- A marker dye shall be added to any herbicides used for selective invasive plant removal.
- Disposal of invasive plant material shall comply with CT DEEP "Guidelines for Disposal of Terrestrial Invasive Plants" [http://cipwg.uconn.edu/wp-content/uploads/sites/244/2014/01/InvasivePlantDisposal\\_2014-01-23](http://cipwg.uconn.edu/wp-content/uploads/sites/244/2014/01/InvasivePlantDisposal_2014-01-23). Such material may be chipped and composted on site if done prior to flowering. If after flowering shall be disposed of off site by being bagged, transported securely, and incinerated.
- Maximize the protection of native trees and shrubs at the limit of disturbance using orange construction fencing or equivalent.
- Stormwater Basins shall be amended with at least 12" of organic enriched topsoil (minimum 10% OM) in the basin bottom, which shall be free from Purple Loosestrife (*Lythrum salicaria*), Common Reed (*Phragmites australis*), or Reed Canarygrass (*Phalaris arundinacea*). See callouts on Sheets WM 1-3 for details of individual basins.
- A 50:50 mix of weed-free leaf compost and sand shall be an acceptable substitute for natural topsoil. If used, the compost shall be tested for germination of weed seeds.
- Plants shall not be delivered until EPS has confirmed finished grading and hydrology of the wetland creation, wetland enhancement, review area enhancement, or stormwater treatment areas. If necessary, plant list shall be adjusted according to field conditions.
- Rough grading & final grades to be reviewed and approved by EPS wetland scientist.
- Microtopography, and structural elements shall be determined in the field by EPS wetland scientist.
- Compaction of wetland enhancement area shall be minimized to the maximum extent feasible by the use of excavation hoes, light equipment with turf type tires, or wide track equipment.
- If compaction does occur, the compacted zone shall be tilled to refracture at least 12" of natural soil.
- Soil shall be amended to provide a suitable growing medium for wetland plants under the direction of EPS wetland scientist.
- Any soil amendments shall be approved by EPS staff.
- Soil amendments shall be free from Purple Loosestrife (*Lythrum salicaria*), Common Reed (*Phragmites australis*), or Reed Canarygrass (*Phalaris arundinacea*).
- Install wetland herbs in ponded areas of basins and wetland creation areas under the guidance of EPS staff.
- Plants shall be native species from New England sources to the extent feasible. Cultivars or hybrids are not acceptable.
- Plant trees and shrubs around existing native vegetation in beds and mulch with pine bark mulch. Mulch around trees with pine bark mulch.
- Average density of trees shall be 15-20 feet o.c.
- Average density of shrubs shall be in groupings 4-6 feet o.c.
- Mulch is not to be renewed.
- Final plant & seed mix locations should be determined in the field by EPS staff.
- Seed non-ponded emergent marsh areas in stormwater basin bottoms and wetland creation areas with New England Wetmix at 1 lb/2500 s.f.
- Seed any disturbed wetland soils with New England Wetmix at 1 lb/2500 s.f.
- Seed lower basin slopes with New England Erosion Control/Restoration Mix (for detention basins and moist sites) at 1 lb/1250 s.f.
- Seed upper slopes and disturbed upland soils with New England Conservation/Wildlife Mix at 1 lb/1750sq ft.
- No substitutions without review by EPS staff.
- All wetland creation and enhancement areas shall be monitored by EPS staff for 5 years, with annual reporting to the Branford Inland Wetlands agent. Remedial measures may be required and shall be implemented as recommended by EPS staff and approved by the Branford Inland Wetlands agent.
- Trees and shrubs shall be protected from deer browse with repellent, cages or fencing.
- Guarantee: Contractor shall guarantee all plants and lawns for a minimum of 1 year to be alive and in vigorous growing condition at the end of the guarantee period. The guarantee period for all plants shall begin upon approval by Owner or Landscape Architect. Plant materials and lawns approved in the Spring shall be alive and in satisfactory growth on June 1 of the following year; planting done in late Fall (after November 1st) shall be maintained and guaranteed until the second Spring's leafing. Replacements: all plants shall be free of dead or dying branches and branch tips, and shall bear foliage of a normal density, size and color. Promptly remove dead, unsightly, unhealthy, or excessively pruned plants. These and any plants missing due to the Contractor's negligence, shall be replaced or added with the same kind and size as originally specified as soon as conditions permit. Method of replacement shall be the same as specified for the original planting with replacements matching adjacent specimens of the same species. Replacements shall be made as many times as necessary to ensure healthy plants and they shall be maintained and guaranteed. Replacements shall be made at the contractor's expense and shall be guaranteed for one full year from time of replacement.



ARCHITECTURE  
ENGINEERING  
ENVIRONMENTAL  
LAND SURVEYING

355 Research Parkway  
Meriden, CT 06450  
(203) 630-1406  
(203) 630-2615 Fax

ENVIRONMENTAL  
PLANNING SERVICES  
Wetland, Biological and Soil Sciences

MICHAEL S. KLEIN, Principal  
Professional Wetland Scientist  
Soil Scientist

89 BELKNAP ROAD  
WEST HARTFORD, CT 06117

**PROPOSED COMMERCIAL DEVELOPMENT**  
 569 EAST MAIN STREET  
 BRANFORD, CONNECTICUT  
**NOT FOR CONSTRUCTION- FOR PERMITTING PURPOSES ONLY**

Xref (G) : B011C370721 : X111C370701 : X111C370702 : X111C370703 : X111C370704 : X111C370705 : X111C370706 : X111C370707 : X111C370708 : X111C370709 : X111C370710 : X111C370711 : X111C370712 : X111C370713 : X111C370714 : X111C370715 : X111C370716 : X111C370717 : X111C370718 : X111C370719 : X111C370720 : X111C370721 : X111C370722 : X111C370723 : X111C370724 : X111C370725 : X111C370726 : X111C370727 : X111C370728 : X111C370729 : X111C370730 : X111C370731 : X111C370732 : X111C370733 : X111C370734 : X111C370735 : X111C370736 : X111C370737 : X111C370738 : X111C370739 : X111C370740 : X111C370741 : X111C370742 : X111C370743 : X111C370744 : X111C370745 : X111C370746 : X111C370747 : X111C370748 : X111C370749 : X111C370750 : X111C370751 : X111C370752 : X111C370753 : X111C370754 : X111C370755 : X111C370756 : X111C370757 : X111C370758 : X111C370759 : X111C370760 : X111C370761 : X111C370762 : X111C370763 : X111C370764 : X111C370765 : X111C370766 : X111C370767 : X111C370768 : X111C370769 : 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